



Breach Road, Brown Edge, ST6 8QG.  
Offers in the Region Of £250,000

Whittaker <sup>Est. 1930</sup>  
& Biggs

## Breach Road, Brown Edge, ST6 8QG.

A well presented three bedroom detached property boasting an impressive conservatory, modern kitchen & bathroom, ample off road parking and low maintenance gardens. Located in the popular village of Brown Edge the home is situated within walking distance of local shops, bus stops, public houses and schools.

Accommodation briefly comprises of an entrance hallway with cloakroom and staircase to the first floor off. The kitchen offers units to the base and eye level with granite work surfaces, four ring electric hob, electric oven, integral microwave, integral fridge / freezer, plumbing for a washing machine and space for a breakfast table. A 15ft living room provides access into the UPVC double glazed conservatory. To the first floor are three bedrooms and family bathroom having a panelled bath, low level WC and pedestal wash hand basin.

Externally the property is approached via a brick herringbone driveway providing ample off road parking. To the rear is mainly laid to gravel with the driveway continuing.

A viewing comes highly recommended to appreciate the size, location and quality on offer.

### Situation

The property is situated in the village of Brown Edge being a sought after location which sits within easy commuting distance of Leek, Endon, The Potteries and the Motorway Network.

The village boasts many shops and amenities and is within the catchment for the sought after Endon Schools. Many walks can be enjoyed around the surrounding countryside.



### Entrance Hall

Composite door to the side elevation, UPVC double glazed window to the front elevation, radiator, staircase to the first floor.

### Cloakroom

UPVC double glazed window to the side elevation, low level WC, wall mounted sink.

### Kitchen 12' 0" x 8' 4" (3.65m x 2.54m)

UPVC double glazed window to the front elevation, radiator, units to the base and eye level, granite work surfaces, four ring electric hob, extractor fan, inset stainless steel sink, chrome mixer tap, electric oven, integral microwave, integral fridge / freezer, integral washing machine.

### Living Room / Dining Room 15' 2" x 13' 2" (4.62m x 4.01m)

Radiator, storage cupboard, cornicing.

### Conservatory 14' 8" x 10' 8" (4.47m x 3.25m)

Brick base with UPVC double glazing, UPVC double glazed patio doors to the side elevation.

### First Floor

#### Landing

UPVC double glazed window to the side elevation, loft access.

### Bedroom One 13' 6" x 8' 11" (4.11m x 2.72m)

UPVC double glazed window to the rear elevation, radiator.

### Bedroom Two 11' 9" x 8' 11" (3.58m x 2.72m)

UPVC double glazed window to the front elevation, radiator.

### Bedroom Three 9' 4" x 6' 0" (2.84m x 1.83m)

UPVC double glazed window to the rear elevation, radiator.

### Bathroom

UPVC double glazed window to the front elevation, chrome ladder radiator, panelled bath with shower over, pedestal wash hand basin, low level WC.

### Externally

To the front, brick herringbone driveway, area laid to gravel, stone flagged walkway, curtsy lighting, fenced boundaries. To the rear, brick herringbone driveway, area laid to gravel, walled and fenced boundaries.



Note:  
Council Tax Band: C

EPC Rating: TBC

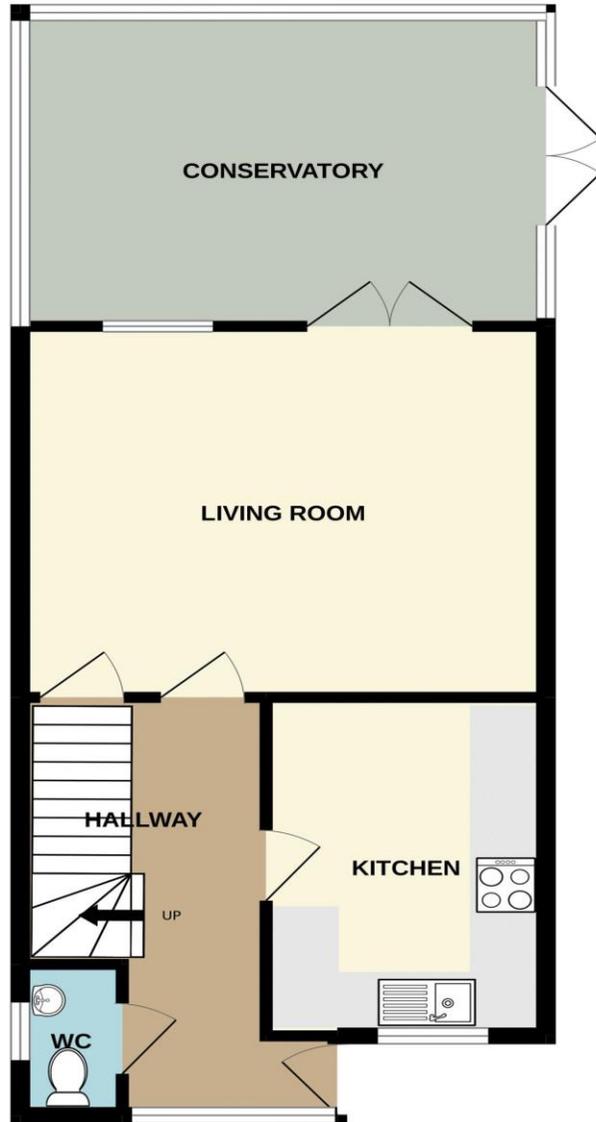
Tenure: believed to be Freehold



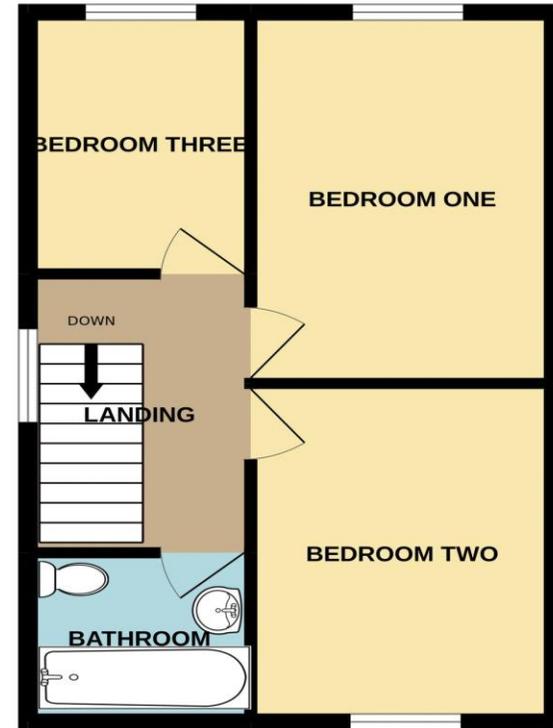




GROUND FLOOR



1ST FLOOR



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Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.

## Directions

From our Derby Street Leek office proceed along Haywood Street at the traffic lights proceed straight ahead into Broad Street, follow this road and at the mini roundabout continue straight ahead into Newcastle Road, follow this road out of the town through the village of Longsdon, upon entering the village of Endon take the third turning right after passing The Plough public house signposted Clay lake, follow this road into the village of Brown Edge where the property is situated on the right hand side.

**IMPORTANT:** Whittaker & Biggs for themselves and for the vendors or lessors of this property whose agents they are give notice that the particulars are produced in good faith and are set out as a general guide only and do not constitute any part of a contract and no person in the employment of Whittaker & Biggs estate agents has any authority to make or give any representation or warranty in relation to this property. The agent has not tested any apparatus, equipment, fittings or services and so cannot guarantee they are in working order, or fit for their purpose. The agent would also like to point out that the majority of the photographs used on their brochures and window displays are taken with non standard lenses.

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